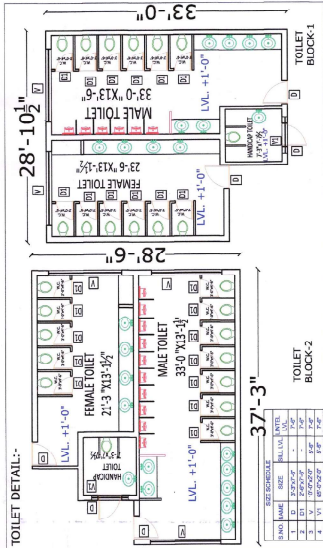


"THE LONDON STREET"



RIGHT OF WAY

<<< NH05 TO LUDHIANA

RIGHT OF WAY

CARRIAGE WAY CHANDIGARH STATE HWY >>> TO CHANDIGARH

CARRIAGE WAY

18'-0" WIDE SERVICE ROAD

NH-05 (OLD NH-95)

209'-0"

93'-6"

126'-6"

12'-0" WIDE ROAD

12'-0" WIDE ROAD

12'-0" WIDE ROAD

12'-0" WIDE ROAD

12'-0" WIDE ROAD

12'-0" WIDE ROAD

12'-0" WIDE ROAD

12'-0" WIDE ROAD

12'-0" WIDE ROAD

AREA STATEMENT				
DESCRIPTION	Area in sq.ft.	Area in sq.m.	Percentage %	
TOTAL AREA OF THE SITE (WITHOUT REVENUE RASTA)	410553	38135.9189	45617	100.00%
AREA UNDER WIDENING OF REVENUE RASTA	33322.85	3096.58484	3703.61	8.12%
AREA UNDER SCO'S COMMON PLOTS	108037.70	10038.441	12066.41	26.32%
AREA UNDER STP	2076.25	192.881	236.69	0.51%
AREA UNDER TOILET BLOCK	1682.063	156.262	184.90	0.41%
AREA UNDER SWM	2158.75	200.545	239.86	0.53%
AREA UNDER WATER WORKS	7258.8	674.334	806.53	1.77%
AREA UNDER GREEN, PARKING, PAVEMENT, RAMPS, ROAD & OPEN SPACE	890.45	82.722	98.94	0.22%
PERMISSIBLE GROUND COVERAGE	25096.138	23698.149	28344.02	62.13%
ACHIEVED F.A.R. AREA	184748.85	17165.964	20517.65	45%
PERMISSIBLE F.A.R. AREA	108037.7	10038	12066.41	26.32%
ACHIEVED F.A.R. AREA	143661.9	13346.6	15952.43	
ACHIEVED F.A.R. AREA	0.3499	(1:0.349)		
TOTAL SALEABLE AREA=108037.7 sq.ft. (26.32%)				

AREA CALCULATION OF COMMERCIAL BLOCKS				
S.NO.	CATEGORY	SIZE	PILOT AREA in sq.ft.	TOTAL COVERED AREA in sq.ft.
1	SCO NO.-1 (0.12425.52)	21.125	61.5	1299.188
2	SCO NO.-2 (0.1121.26)	20.75	61.5	1276.125
3	SCO NO.-3 (0.1120.27 to 36.41 to 50.854-59)	20.75	61.5	1276.125
4	SCO NO.-4 (0.1120.27 to 36.41 to 50.854-59)	20.75	61.5	1276.125
5	SCO Plot NO.-1 A	65	82.5	5362.5
6	SCO Plot NO.-2 A&B 3A	26.875	82.5	2217.188
7	SCO Plot NO.-4A	45.375	82.5	3743.438
8	SCO Plot NO.-5A	64	81.5	5216
9	SCO Plot NO.-6A to 8A	51.5	61.5	3167.25
10	SCO Plot NO.-9A	21.125	36	760.5
11	SCO Plot NO.-10A to 11A	20.75	36	747
12	SCO Plot NO.-12A	20.75	36	747
13	Toilet Block -1		28.875	866.23
14	Toilet Block -2		28.875	866.23
TOTAL TOILET BLOCK AREA			57.75	1732.46

PARKING CALCULATIONS	
PARKING REQUIRED= 853/1000 sq.m.	
TOTAL AREA	13318.6
AREA REQUIRED FOR PARKING	2672.53
AREA REQUIRED FOR PARKING	13.33
AREA REQUIRED FOR PARKING	330.349
AREA REQUIRED FOR PARKING	1440.7345
TOILET CALCULATION OCCUPANT LOAD	
OCCUPANT LOAD CALCULATION FACTOR= 0.3 sq.ft. per person	
TOTAL AREA	13318.6
AREA REQUIRED FOR PARKING	4448.85
AREA REQUIRED FOR PARKING	1336.6 sq.m.
AREA REQUIRED FOR PARKING	507.469
AREA REQUIRED FOR PARKING	330.349
AREA REQUIRED FOR PARKING	1440.7345
TREE CALCULATION	
TOTAL NO. TREES REQUIRED 232/sq.m.=	13346.6/232
TOTAL NO. TREES PROVIDED=	59.318

TOILET CALCULATION OCCUPANT LOAD	
OCCUPANT LOAD CALCULATION FACTOR= 0.3 sq.ft. per person	
TOTAL AREA	13318.6
AREA REQUIRED FOR PARKING	4448.85
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AREA REQUIRED FOR PARKING	507.469
AREA REQUIRED FOR PARKING	330.349
AREA REQUIRED FOR PARKING	1440.7345
TREE CALCULATION	
TOTAL NO. TREES REQUIRED 232/sq.m.=	13346.6/232
TOTAL NO. TREES PROVIDED=	59.318

PROPOSED PLAN FOR COMMERCIAL PLOTTED COLONY OF MIS MA BHAGWATI DEVELOPERS (UNDER PAPRA JAT VILLAGE RAMPUH MEHRAB CHANDIGARH - LUDHIANA HIGHWAY N.H - 05 MORINDA, DISTRICT ROOPNAGAR, PUNJAB, HAD3A5T NO. 264		PROJECT :- COMMERCIAL PLOTTED COLONY		COLONY NAME :- "THE LONDON STREET"	
DRAWING NO:- V-1/0223		DATED:- 02.06.2023		SCALE:-	
DRAWN BY:-		TITLE :- LAYOUT PLAN		OWNER	
MIA BHAGWATI DEVELOPERS PUNJAB		MIA BHAGWATI DEVELOPERS PUNJAB		ARCHITECT	