

**PUBLIC NOTICE**

**Regarding Amendment in approved layout plan of Commercial Colony at  
Village Kailon, Tehsil Mohali, S.A.S. Nagar of M/s Prithvi Raj Infratech  
(License No LDC-56/2024 dated 30.07.2024).**

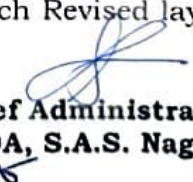
Competent Authority-cum-Chief Administrator, GMADA had released the Layout Plan bearing Drg. no. 01 dated 09.11.2023 of Commercial colony situated at Village Kailon and Tehsil Kharar, Distt. S.A.S. Nagar. Now the Promoter Company has requested the office of Competent Authority, GMADA, S.A.S. Nagar for approval of Revised Layout Plan which was discussed and approved in the 30<sup>th</sup> meeting of Layout Plan Approval Committee under the Chairmanship of Chief Administrator, GMADA. Committee decided that public notice may be given before issuing revised layout plan, for the information of general public regarding the changes made by the promoter in the revised layout plan. The promoter has incorporated following amendments in the previous approved layout Plan of the project:-

1. In the technically approved revised layout plan, 6 New Double Story Shops have been proposed and 1 Commercial SCO has been deleted thereby increasing total number of plots from 92 to 97.
2. In the technically approved layout plan, the SCOs have been re-planned. Earlier Approved 20'-0" wide Service Road has been removed in the revised layout plan and Rear courtyard has been proposed in the SCOs. Due to this re-planning overall FAR, Ground Coverage and Parking of the site has been changed.
3. Area of Solid Waste Management site have been increased from 200 sq. mts. (239.198 Sq. yds) To 230.05 Sq.mts. (275.14 Sq. yds.), Area of Sewage Treatment Plant has been increased from 266.54 Sq.yds. (209.20 sq.mt.) to 275.14 sq.yds. (230.05 Sq. mt.), Area of Electrical Service Area have been increased from 96.49 sq.yds. to 98.53 Sq. Yds. and similarly area of Underground Water tank has been increased from 192 Sq.yds. to 195.11 Sq.yds.
4. Green buffer around the services has also been changed according to the planning.
5. Earlier proposed Reserved area measuring 2397.08 sq.ft. has now been shown as area not available at site/ground.

Because the promoter has incorporated certain amendments in the earlier approved layout Plan of the colony, therefore before approval of the revised layout plan, the interested persons in this colony may be informed about these amendments and asked to file their suggestions/ objections, if any in this regard.

In the light of above, the public notice is hereby published for inviting suggestions/ objections from the persons interested in this project.

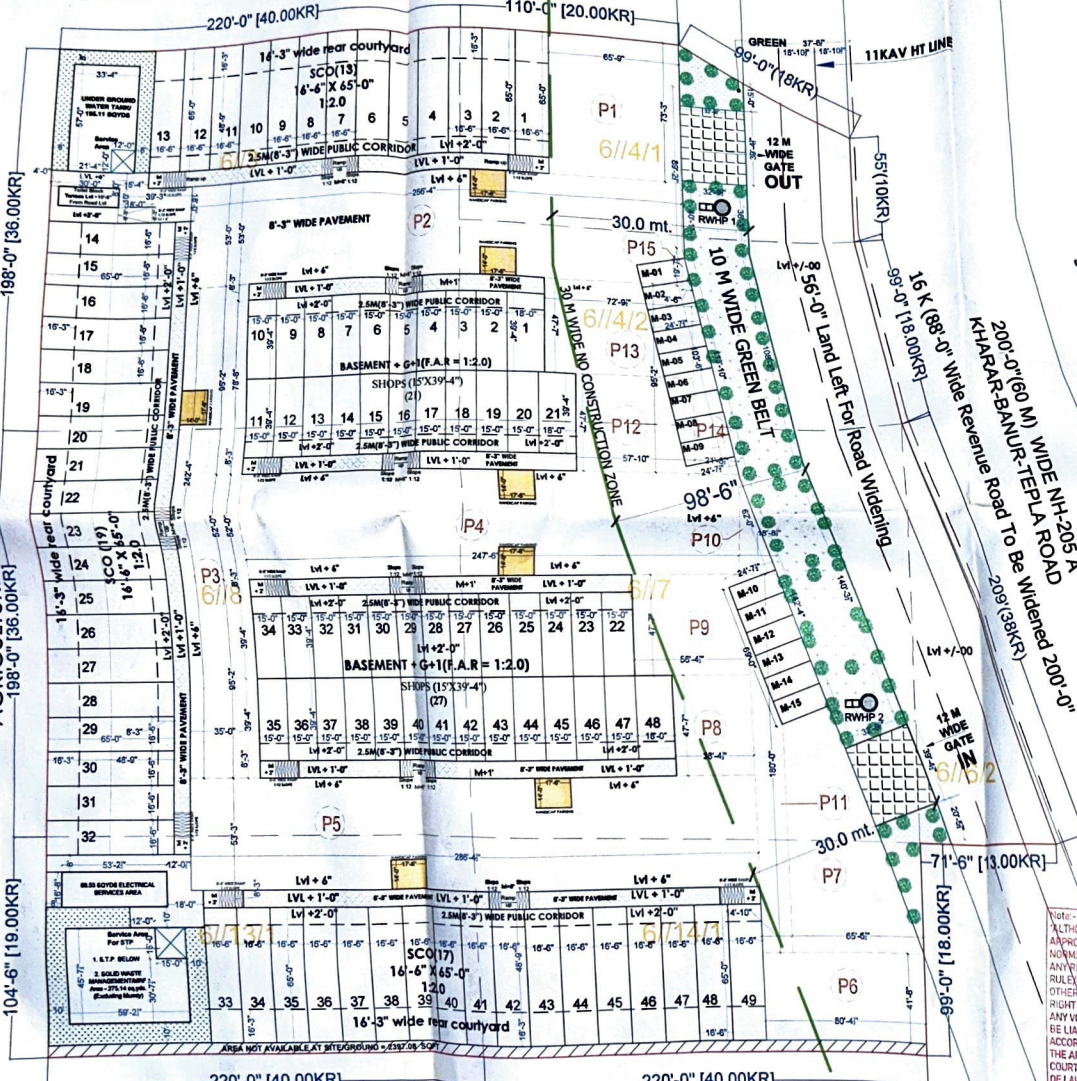
The Revised layout plan has been uploaded on GMADA website [www.gmada.gov.in](http://www.gmada.gov.in) for inspection of the public. Those desirous may submit their suggestions/ objections in writing within 15 days from the date of publication of this notice to the office of the undersigned, failing which Revised layout plan will be released to the promoter.

  
**Chief Administrator,  
GMADA, S.A.S. Nagar.**



| DESCRIPTION                                              | AREA IN SQFT | AREA IN SQM |
|----------------------------------------------------------|--------------|-------------|
| SITE AREA AS PER CLU (40 Kanal: 1.8 Marla - 8 SAKSAI)    | 221761.50    | 24633.500   |
| AREA UNDER ROAD WIDENING (4 Kanal: 1.8 Marla - 8 SAKSAI) | 21780.00     | 2420.000    |
| AREA NOT AVAILABLE AT SITE/GROUND (B)                    | 2387.06      | 206.342     |
| NET PLANNED AREA (SITE AREA - A - B)                     | 197524.42    | 1975.221    |
| PERMISSIBLE GROUND COVERAGE                              | 45%          | 8893.549    |
| ACHIEVED GROUND COVERAGE                                 | 41.12%       | 8123.260    |
| PERMISSIBLE FAR                                          | 1.75         | 345867.735  |
| ACHIEVED FAR                                             | 0.832        | 162632.514  |

### AGRICULTURE LAND



### Parking Calculation

|                                       |              |
|---------------------------------------|--------------|
| TREES CALCULATION                     |              |
| TOTAL NO. OF TREES REQUIRED 225/44.44 | 15092.21/225 |
| TOTAL NO. OF TREES PROVIDED           | 67           |

| S.NO. | SIZE/SHOPS | NO. OF SHOPS | SIZE OF SCO/SHOPS (IN FEET INCHES) | AREA OF SCO/SHOPS IN SQFT. | TOTAL AREA IN SQFT. | GROUND COVERAGE % | GROUND COVERAGE AREA IN SQFT. | FAR | FAR AREA IN SQFT. | TOTAL FAR AREA IN SQFT. |
|-------|------------|--------------|------------------------------------|----------------------------|---------------------|-------------------|-------------------------------|-----|-------------------|-------------------------|
| 1     | 1/10       | 13           | 16.5 x 65                          | 1072.5                     | 13942.500           | 75                | 8043.75                       | 2   | 27485             | 29880.000               |
| 2     | 1/20       | 19           | 16.5 x 65                          | 1072.5                     | 20377.500           | 75                | 15283.125                     | 2   | 40575             | 37862.500               |
| 3     | 1/40       | 17           | 16.5 x 65                          | 1072.5                     | 18232.500           | 75                | 13674.375                     | 2   | 27485             | 29880.000               |
| 4     | 1/20       | 1            | 18 x 99.333                        | 1787.994                   | 2123.982            | 100               | 2123.982                      | 2   | 4247.964          | 4672.000                |
| 5     | 2/20       | 45           | 15 x 39.333                        | 589.995                    | 26458.775           | 100               | 26458.775                     | 2   | 52917.550         | 58000.000               |
| TOTAL |            | 87           |                                    |                            | 81236.26            |                   |                               |     | 102422.514        | 102422.514              |

Letter No. 2367/SP(S&P) (55-11-KR) dated 01.04.2015  
 Member Layout Plan Scrutiny Committee  
 cum-Senior Town Planner, S.A.S. N.

| PARKING CALCULATIONS |                     |              |  |
|----------------------|---------------------|--------------|--|
| FAR AREA             | Area in Sqft        | Area in Sqm  |  |
|                      | 162452.534          | 15092.207    |  |
| PARKING REQUIRED     |                     |              |  |
| AS/BUL               | AREA IN SQM         | EQS REQUIRED |  |
| 225/100 SQM          | 15092.207           | 15.09        |  |
| 1000/TRUCK           | 15092.207           | 15.09        |  |
| PARKING PROVIDED     |                     |              |  |
| AS/BUL               | PARKING AREA IN SQM | EQS PROVIDED |  |
| 23 SQM/EQS           | 6964.744            | 30.28        |  |
| 26.25/TRUCK          | 393.750             | 15.09        |  |

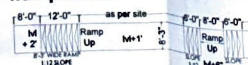
| S.NO.                                 | NAME | L       | B       | X   | Y | UNIT |
|---------------------------------------|------|---------|---------|-----|---|------|
| 1                                     | P1   | 65.75   | 73.25   | 1.0 | 1 | AREA |
| 2                                     | P2   | 256.333 | 53      | 1.0 | 1 | AREA |
| 3                                     | P3   | 35      | 242.291 | 1.0 | 1 | AREA |
| 4                                     | P4   | 247.50  | 52      | 1.0 | 1 | AREA |
| 5                                     | P5   | 286.375 | 53.25   | 1.0 | 1 | AREA |
| 6                                     | P6   | 80.375  | 41.67   | 1.0 | 1 | AREA |
| 7                                     | P7   | 65.541  | 180     | 0.5 | 1 | AREA |
| 8                                     | P8   | 38.375  | 47.583  | 1.0 | 1 | AREA |
| 9                                     | P9   | 56.375  | 47.583  | 1.0 | 1 | AREA |
| 10                                    | P10  | 18.708  | 52      | 0.5 | 1 | AREA |
| 11                                    | P11  | 14.833  | 180     | 1.0 | 1 | AREA |
| 12                                    | P12  | 57.833  | 47.583  | 1.0 | 1 | AREA |
| 13                                    | P13  | 72.791  | 47.583  | 1.0 | 1 | AREA |
| 14                                    | P14  | 21.708  | 95.167  | 0.5 | 1 | AREA |
| 15                                    | P15  | 4.500   | 19.625  | 0.5 | 1 | AREA |
| TOTAL AREA IN SQFT                    |      |         |         |     |   |      |
| TOTAL AREA IN SQM (A)                 |      |         |         |     |   |      |
| AREA PROVIDED FOR MERCHANTILE PARKING |      |         |         |     |   |      |
| 1                                     | M1   | 26.25   |         |     |   | 15   |
| TOTAL AREA IN SQFT                    |      |         |         |     |   |      |
| TOTAL AREA IN SQM (B)                 |      |         |         |     |   |      |
| SURFACE PARKING AREA IN SQM (A-B-C)   |      |         |         |     |   |      |

NOTE - ALTHOUGH DUE CARE HAS BEEN TAKEN IN APPROVING THE LAYOUT PLAN AS PER TECHNICAL NORMS, BUT THIS APPROVAL IS NOT PROVIDING ANY RIGHT TO YOU TO VIOLATE ANY RULES/REGULATIONS OF THIS DEPARTMENT OR ANY OTHER DEPARTMENT AND ALSO NOT PROVIDE ANY RIGHT FOR ANY ILLEGAL CONSTRUCTION IN CASE ANY VIOLATION FOUND AT ANY STAGE YOU SHALL BE LIABLE TO GET THE LAYOUT PLAN REVISED ACCORDINGLY IMMEDIATELY. THE APPROVAL IS SUBJECT TO DECISION OF ANY COURT CASE PREVAILING IN ANY HONBLE COURT OF LAW, IF ANY.

LAND OWNERSHIP = 100%

| TOWNSHIP                   | NO. OF PLOTS | AREA IN SQFT | AREA IN SQM |
|----------------------------|--------------|--------------|-------------|
| UNDEVELOPED TOWN           | 10           | 67,888       | 6288.000    |
| DEVELOPED TOWN             | 10           | 67,888       | 6288.000    |
| TOTAL                      | 20           | 135,776      | 12576.000   |
| WATER WORKS (DRAIN)        |              |              |             |
| 10% BELOW                  | AS PER PLAN  | 195.130      | 18.000      |
| 10% ABOVE                  | AS PER PLAN  | 275.140      | 25.500      |
| ELECTRICAL WORKS (IN SITE) | AS PER PLAN  | 58.330       | 5.400       |
| RECEIVED AREA              | AS PER PLAN  | 2297.000     | 212.000     |

### Ramp Detail



### Toilet Block



### JOINTURE SCHEDULE

| S.NO. | NAME | SIZE            | TOP SURFACE ELEV. |
|-------|------|-----------------|-------------------|
| 1     | D    | 10'-0" x 10'-0" | 7.0'              |
| 2     | D    | 10'-0" x 10'-0" | 7.0'              |
| 3     | D    | 10'-0" x 10'-0" | 7.0'              |
| 4     | V    | 10'-0" x 10'-0" | 7.0'              |

### TITLE LAYOUT PLAN

DATE: 21.02.2015  
 AR. STUDIO  
 AR. PRITHVI RAJ INFRATECH  
 AR. PRITHVI RAJ INFRATECH  
 AR. PRITHVI RAJ INFRATECH

### ARCHITECT

AR. STUDIO  
 AR. PRITHVI RAJ INFRATECH  
 AR. PRITHVI RAJ INFRATECH

### PROMOTER

AR. PRITHVI RAJ INFRATECH  
 AR. PRITHVI RAJ INFRATECH

SCALE: 1:100  
 DRG. NO. A-1