

# SECTOR - 61

# S.A.S. NAGAR URBAN ESTATE SECTOR - 70

## LEGEND:-

1. RESIDENTIAL
2. MULTISTORIED FLATS
3. EXISTING VILLAGE MATAUR
4. COMMERCIAL
5. EDUCATIONAL
6. PUBLIC BUILDINGS
10. RESERVED
11. ROADS / PUBLIC OPEN SPACES
12. HIGH TENSION LINE
13. UN - ACQUIRED LAND

## DETAIL OF AREAS:

GROSS SECTOR AREA (INCLUDING SECTOR ROADS)	=	124.07	HEC
1. AREA UNDER SECTOR ROADS	=	10.56	"
2. RESERVED OPEN AREA UNDER H.T. LINE	=	3.12	"
3. AREA UNDER EXISTING VILLAGE MATAUR	=	11.156	"
NET PLANNED AREA	=	99.234	HEC
1. AREA UNDER RESIDENTIAL PLOTS	=	14.89	" 15.00%
2. AREA UNDER HOUSEFEED COMPLEX	=	36.882	" 37.17%
3. AREA UNDER MULTISTORIED FLATS	=	34.662	"
4. AREA UNDER COMMERCIAL	=	7.072	" 7.14%
5. AREA UNDER EDUCATIONAL	=	3.588	" 3.62%
6. AREA UNDER PUBLIC BUILDING	=	5.731	" 5.78%
7. RESERVED AREA	=	0.336	" 0.34%
8. AREA UNDER ROADS & OPEN SPACES	=	30.739	" 30.95%

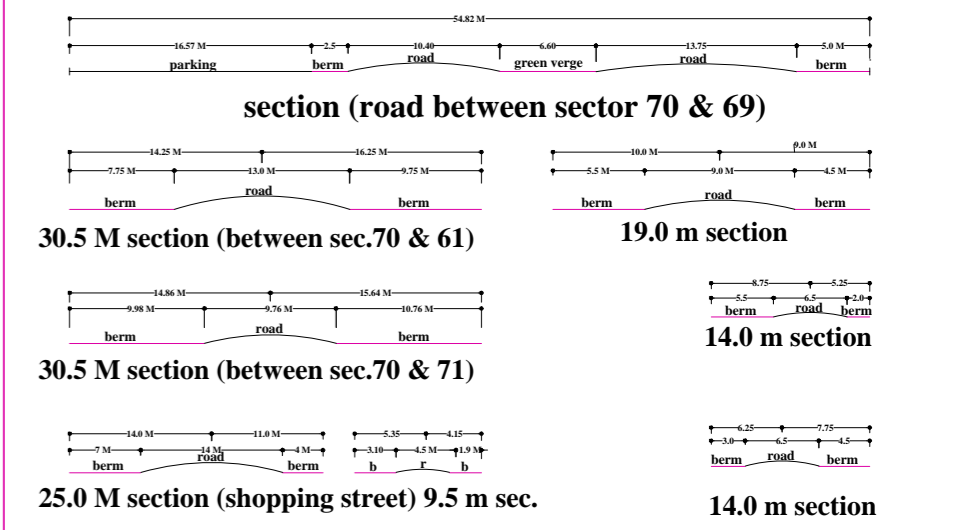
## DETAIL OF PLOTS

S.NO	CATEGORY	SIZE OF PLOT	AREA OF PLOT (ALREADY IN SQ.MTS)	NEW PLOTS PROVIDED	TOTAL NO. PROVIDED	TOTAL AREA UNDER PLOTS
1.	1 KANAL	15.0X28.0 M	420.00 SQ.M	47	113	160 6.70 HEC.
2.	10 MARLA	12.0X28.0 M	336.00 "	47	46	83 3.13 "
3.	12 MARLA	11.5X22.0 M	253.00 "	20	20	0.50 "
4.	10 MARLA	10.0X22.0 M	220.00 "	25	92	117 2.60 "
5.	8 MARLA	8.5X18.0 M	153.00 "	36	89	1.50 "
6.	6 MARLA	7.0X18.0 M	126.00 "	36	36	0.46 "
<b>TOTAL</b>						<b>1489 "</b>

## SCHEDULE OF PLOTS

CATEGORY	NOS	TOTAL NOS.
1 KANAL	120-130, 177-237, 1114-1137, 2626-2642 (11) (61) (24) (17)	113
16 MARLAS	131-176 (46)	46
12 MARLAS	1083-1102 (20)	20
10 MARLAS	1001-1008, 1010-1082, 1103-1113 (8) (13) (11)	92
8 MARLAS	2519-2540, 2559-2625 (22)	89
6 MARLAS	2501-2518, 2541-2558 (18) (18)	36

## ROAD CROSS SECTION

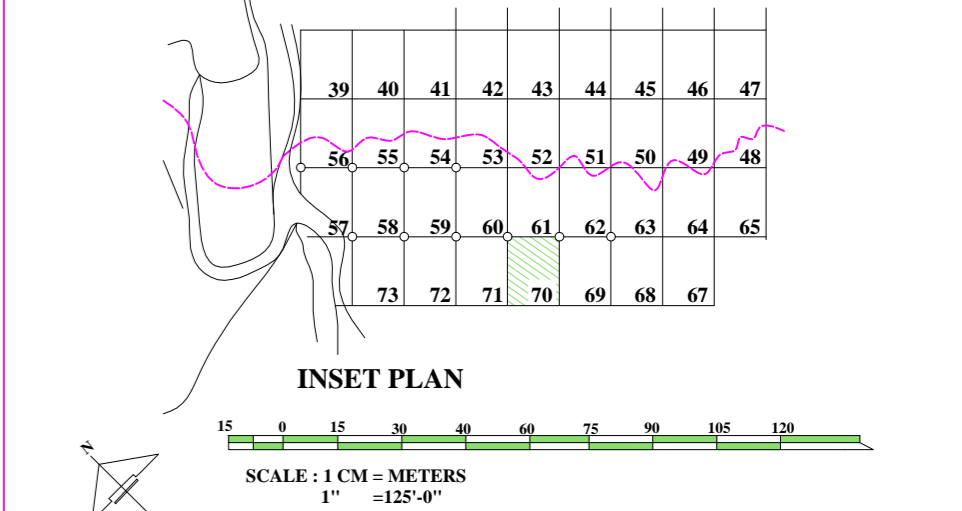


## NOTES:-

1. THIS DRAWING IS BASED ON THE SKETCH LAY-OUT PLAN APPROVED BY THE LAY-OUT PLAN APPROVAL COMMITTEE MEETING HELD 11.1.94.
2. 119 PLOTS ALREADY CURVED OUT IN POCKET 'A' AS ALREADY INDICATED IN DRAWING NO. 964/93 DATED 12.2.93 HAVE BEEN RETAINED AS SUCH IN THE LAY-OUT PLAN.
3. ALL MEASUREMENTS ARE TO BE EXACT & SHOULD BE CHECKED AT SITE.
4. ALL DIMENSIONS ARE TO BE TAKEN FROM THE CENTRE LINE OF CARRIAGE WAYS WHICH ARE SHOWN IN DASH & DOTS.
5. DETAIL OF SHOPPING CENTRE WILL BE SUPPLIED LATER ON.
6. DETAILED ROAD CROSS SECTIONS WILL BE SUPPLIED LATER ON.
7. THIS DRAWING SUPERSEDES ALL THE PREVIOUS DRAWINGS ON SECTOR-70.
8. SITE FOR INDIA RED CROSS SOCIETY HAS BEEN INCORPORATED AS PER DISTRICT TOWN PLANNER PUDA (M)'S END NO. DHUD T.P.V. 96/3214 DT-1.7.96.
9. WIDTH OF THE PHIRNI ON THE EASTERN SIDE OF VILLAGE MATAUR SECTOR 70 HAS BEEN WIDENED TO 24.40 MT. 80'-0" INSTEAD OF 19 MT / 60'-0" AS PER DECISION TAKEN IN PLANNING AND DESIGN COMMITTEE MEETING HELD ON .5.5.1999.
10. SITE OF P.A.U. GUEST HOUSE HAS BEEN MARKED AS PER PUDA LETTER NO. PUDA-TPW-02/10714 DATED 9.10.02.
11. SITE OF GURUDWARA SAHIB HAS BEEN INCORPORATED AS PER PUDA REFERENCE NO. PUDA TPW-02/9667 DT 11.9.02.
12. FOR ZONING OF M HIGH SCHOOL REFER DRG. NO. 1666/02, DT. 18.12.02.
13. FOR ZONING OF P.A.U. GUEST HOUSE REFER. DRG. NO. 1663/02 DT-11.12.02.
14. THE SITE ADJOINING PLOT NO. 114 & 115 HAS BEEN EARMARKED FOR MIDDLE SCHOOL SENT BY PUDA'S LETTER NO. 6014 DT. 4.11.04 PUDA'S DRG. NO. 29 JOB NO. 70 DT 3.3.03.

## NOTE:-

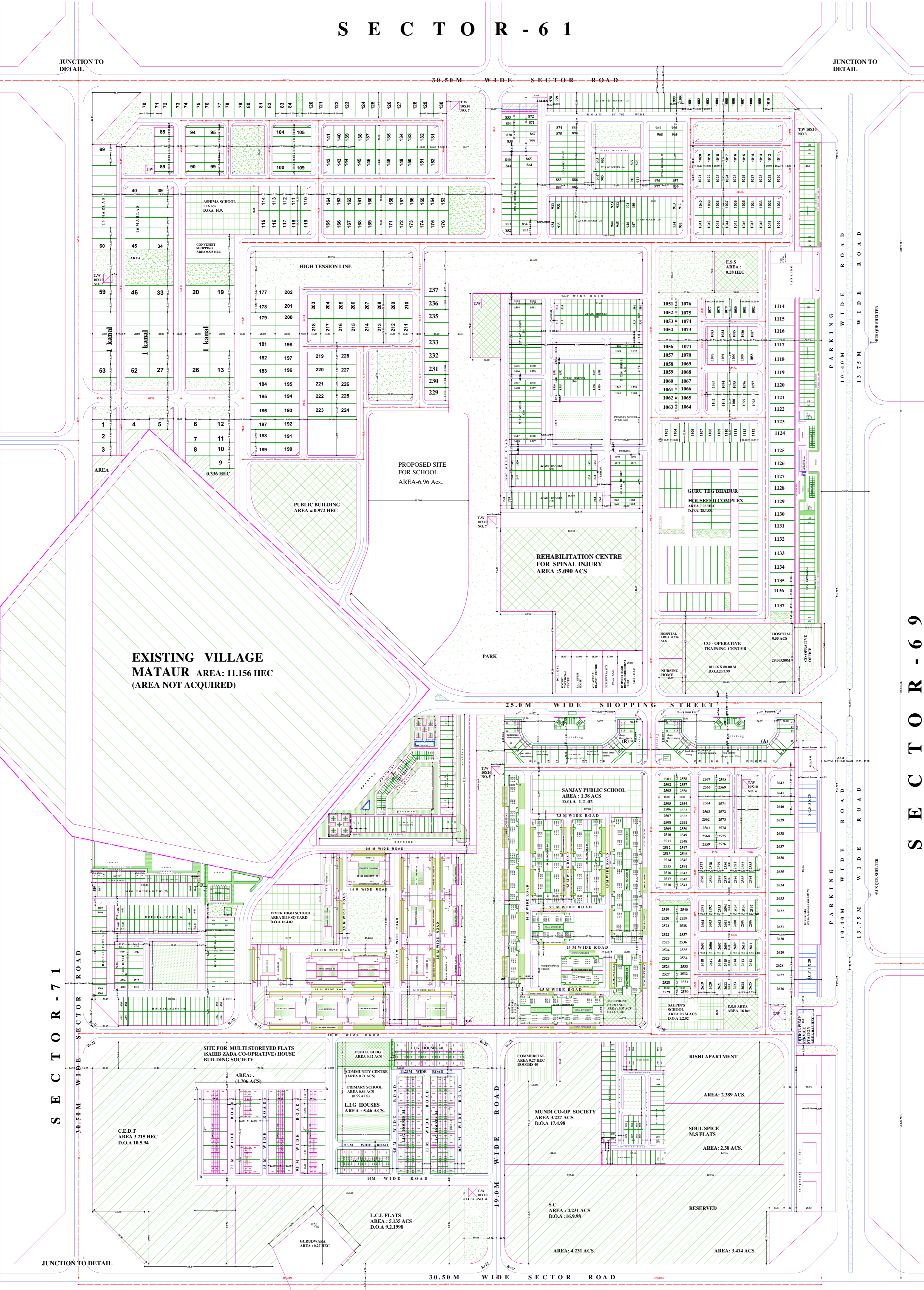
THE DIGITIZED DRAWING IS BASED ON THE ORIGINAL DRAWING OF THE CONCERNED DEPARTMENT. IN CASE OF ANY DISCREPANCY THE DETAILS IN THE ORIGINAL DRAWING SHALL PREVAIL UPON.



## LAY OUT -CUM -DEMARCATION & NUMBERING PLAN

OFFICE OF THE  
DIVISIONAL TOWN PLANNER, S.A.S.NAGAR

Drawing no. (d.t.p S.A.S. nagar) 1066/94	DATED: 14
DRAWN BY:	CHECKED BY:
-sd- asst.town planner	-sd- senior town planner
-sd- district town planner	-sd- chief town planner



G R E E N B E L T